

TYDD ST GILES PARISH COUNCIL

Parrock View, 358 High Road, Newton-in-the-Isle, PE13 5HS

Tel 01945 870083 ~ Mobile 07932 191050 ~ Email clerk@tyddstgilesparishcouncil.org.uk

Clerk D Gibbs

27th July 2026

To Members of the Public and Press

You are invited to attend a meeting of the Planning Committee of Tydd St Giles Parish Council, which will be held in **Newton Village Hall, Church Lane, Newton-in-the-Isle, PE13 5HF** on **Friday 31st July 2026 at 7.30pm**, for the purpose of transacting the following business.

Members of the public and press are invited to attend this meeting.

Yours sincerely

D Gibbs

Clerk/Proper Officer

A G E N D A

All members are reminded that they need to declare any personal or prejudicial interest and reason before an item discussed at this meeting, under the Model Code of Conduct Order 2001 No 3576.

001/26 Apologies for Absence

To receive and consider apologies for absence on behalf of those members not present.

002/26 Planning Application

To consider the following planning application and agree the Council's response:

F/YR26/0539/VOC - Variation of condition 14 (list of approved drawings) relating to planning permission F/YR17/0886/F (Erection of a 3-storey 5/6 bed dwelling with attached double garage with gym/annexe over and formation of a new vehicular access) - changes to landscaping Land North of Hollingworth House, Hockland Road, fronting Cats Lane, Tydd St Giles

003/26 Update on Recent Planning Applications

To receive an update on applications considered at previous meetings.

004/26 Other Planning Matters

To consider any other matters within the remit of the Planning Committee.

Town and Country Planning Act 1990

PLANNING DECISION NOTICE

1 Details of the application

Reference: F/YR17/0886/F
Registered: 20 September 2017

Applicant: Mr Ted Smeeth
Bank Farm
Little Dog Drove
Holbeach St Johns
Spalding PE12 8RR

Agent: Mr Chris Walford
Peter Humphrey Associates Ltd
31 Old Market
Wisbech
Cambs PE13 1NB

2 Address to which this permission relates

Land North Of Hollingworth House Hockland Road Fronting Cats Lane
Tydd St Giles Cambridgeshire

3 Details of this decision

Permission is **GRANTED** to carry out the **Erection of a 3-storey 5/6 bed dwelling with attached double garage with gym/annexe over and formation of a new vehicular access** in accordance with the details set out below.

4 Conditions

This permission is subject to the following conditions:

- 1 The development permitted shall be begun before the expiration of 3 years from the date of this permission.

Reason - To ensure compliance with Section 51 of the Planning and Compulsory Purchase Act 2004.

- 2 All hard and soft landscape works including any management and maintenance plan details, shall be carried out in accordance with the approved details. All planting seeding or turfing and soil preparation comprised in the above details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings, the completion of the development, or in agreed phases whichever is the sooner, and any plants which within a period of five years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation. All landscape works shall be carried out in accordance with the guidance contained in British Standards, unless otherwise agreed in writing by the Local Planning Authority.

Reason - To ensure proper implementation of the agreed landscape details in the interest of the amenity value of the development in accordance with Policy LP16 of the Fenland Local Plan, 2014.

Please note this condition needs to be discharged through the submission of a Discharge of Condition Application through the Local Planning Authority. Please read this condition carefully and ensure that you comply in full.

The additional information required by this condition is considered necessary to make the development acceptable in planning terms.

- 3 Prior to the commencement of the development hereby approved, adequate temporary facilities, details of which shall be submitted to and approved in writing by the Local Planning Authority, shall be provided clear of the public highway for the parking, turning, loading and unloading of all vehicles visiting the site during the period of construction.

Reason - In the interests of highway safety in accordance with Policy LP15 of the Fenland Local Plan.

Please note this condition needs to be discharged through the submission of a Discharge of Condition Application through the Local Planning Authority. Please read this condition carefully and ensure that you comply in full.

The additional information required by this condition is considered necessary to make the development acceptable in planning terms.

- 4 Prior to the first occupation of the development hereby approved the permanent space shown on the plans hereby approved to be reserved on the site to enable vehicles to:
 - a) Enter, turn and leave the site in forward gear;
 - b) Park clear of the public highway

Shall be levelled, surfaced and drained and thereafter retained for no other purpose in perpetuity.

Reason - In the interests of satisfactory development and highway safety in accordance with Policy LP15 of the Fenland Local Plan.

Please note this condition requires action prior to the occupation of the development. Please read this condition carefully and ensure that you comply in full.

- 5 Prior to the first occupation of the development the vehicular access where it crosses the public highway shall be laid out and constructed in accordance with Drawing Number 5231/04.

Reason - In the interests of highway safety and to ensure satisfactory access into the site in accordance with Policy LP15 of the Fenland Local Plan.

Please note this condition requires action prior to the occupation of the development. Please read this condition carefully and ensure that you comply in full.

- 6 Any gate or gates to the vehicular access hereby approved shall be set back a minimum of 6m from the near edge of the highway carriageway. Any access gate or gates shall be hung to open inwards.

Reason - In the interests of highway safety in accordance with Policy LP15 of the Fenland Local Plan.

- 7 No demolition, site clearance or building operations of any type shall commence nor equipment, machinery or materials brought onto site until a protective fence (of at least 2 metres in height and in all other respects in accordance with BS 5837:2012 has been erected as detailed on drawing CL/MH/5,. This tree protective fencing should remain in place until all construction and associated ground-works have been completed.

Reason - To ensure the wellbeing of the trees to be retained and continuity of tree cover and, maintaining and enhancing the quality and character of the area in accordance with Policies LP16 and LP19 of the Fenland Local Plan (Adopted May 2014).

Please note this condition needs to be discharged through the submission of a Discharge of Condition Application through the Local Planning Authority. Please read this condition carefully and ensure that you comply in full.

The additional information required by this condition is considered necessary to make the development acceptable in planning terms.

- 8 Prior to the commencement of the development hereby approved, a specification (including methodology and programme of implementation) for the enhancement of biodiversity through the provision of measures including the timing of clearance of on-site vegetation, provision of bird nest boxes, permeable fencing to allow the movement of wildlife through the site and the provision of bat roosting features shall be submitted to and approved in writing by the Local Planning Authority. The works so approved, shall be carried out in accordance with the approved programme of implementation.

Reason - To enhance biodiversity in accordance with Policies LP16 and LP19 of the Fenland Local Plan (Adopted May 2014).

Please note this condition needs to be discharged through the submission of a Discharge of Condition Application through the Local Planning Authority. Please read this condition carefully and ensure that you comply in full.

The additional information required by this condition is considered necessary to make the development acceptable in planning terms.

- 9 Any ground works that fall within the root protection areas of all retained trees must be carried out by air spade by an Arboricultural contractor using hand excavation rather than mechanical excavation.

Reason - To ensure that the proposed works will not harm the retained trees and that they are adequately protected.

- 10 All service runs should be designed and routed outside the root protection areas of all retained trees. Any works required within root protection areas must be carried out by air spade by an arboricultural contractor and hand excavation rather than mechanical excavation shall be used.

Reason - To ensure that the proposed works will not harm the retained trees and that they are adequately protected.

- 11 No demolition/development shall take place until a written scheme of investigation (WSI) has been submitted to and approved by the Local Planning Authority in writing. For land that is included within the WSI no demolition/development shall take place other than in accordance with the agreed WSI which shall include:

- The programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works

- The programme for post-excavation assessment and subsequent analysis, publication and dissemination, and deposition of resulting material. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI

Reason - To secure the provision of the investigation and recording of archaeological remains threatened by the development and the reporting and dissemination of the results in accordance with Local Plan Policy LP18 of the Fenland Local Plan.

Please note this condition needs to be discharged through the submission of a Discharge of Condition Application through the Local Planning Authority. Please read this condition carefully and ensure that you comply in full.

The additional information required by this condition is considered necessary to make the development acceptable in planning terms.

- 12 Only the single dwelling detailed on drawing number 5696/06 PROPOSED 6 shall be erected on site and the implementation of this planning permission F/YR17/0886/F renders the earlier grant of planning permission under F/YR15/0792/F superseded and incapable of implementation as only one dwelling shall be erected on the site shown edged red on the drawing number 5596/06 PROPOSED 6

Reason - For the avoidance of doubt and to ensure that the scheme complies with Local Plan Policy LP16 as it is considered that development in excess of one dwelling would be discordant within the area and would represent an overdevelopment of the site in the immediate context of its surroundings

- 13 Notwithstanding the provisions of the Town & Country Planning (General Permitted Development) (England) Order 2015, (or any Order or Statutory Instrument revoking and re-enacting that Order with or without modification), planning permission shall be required for the following developments or alterations:

- i) the erection of freestanding curtilage buildings or structures including car ports, garages, sheds, greenhouses, pergolas, or raised decks (as detailed in Schedule 2, Part 1, Classes A and E);
- ii) the erection of house extensions including conservatories, garages, car ports or porches (as detailed in Schedule 2, Part 1, Classes A and D);

Reasons - To ensure that the Local Planning Authority retains control over the future extension and alteration of the development, in the interests of the visual amenity of the area and the setting of the adjacent Listed Building.

- 14 The development hereby permitted shall be carried out in accordance with the following approved plans and documents

Reference	Title
	Tree Report and Landscape Details
	Application form
06	Location Plan
04	Existing and proposed site plans
01	Ground Floor Plan
03	Second Floor Plan
CL/MH/4	Tree Report Plan
CL/MH/5	Tree Protection and Landscaping Scheme
05	Proposed Elevations
	Email confirming roof tiles as Grovebury Farmhouse red
02	First Floor Plan

Reason - For the avoidance of doubt and in the interest of proper planning.

5 Informatives

The following points are also relevant to this permission:

- 1 The Local Planning Authority has worked positively and proactively with the applicant to seek solutions to problems arising from the application and as such planning permission/consent is granted on the basis of amendments to the originally submitted application.
- 2 You are reminded that this project may require approval under Building Regulations prior to work commencing. It is recommended that you make enquiries in this respect direct to CNC working in partnership with the Local Authority Building Control Team (0808 1685041 or E-mail: enquiries.kl@cncbuildingcontrol.gov.uk).
- 3 Prior to the occupation of a dwelling a bin charge is payable in accordance with the leaflet found at <http://www.fenland.gov.uk/newbins>

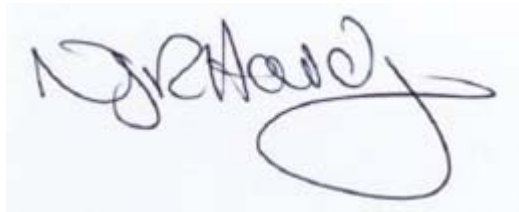
Please contact environmentalservicerequests@fenland.gov.uk for further information.
- 4 For monitoring purposes the development is considered to be in or adjacent to the settlement as set down in Policies LP4, LP6 and LP12 of the Fenland Local Plan 2014.

- 5 Archaeological Services are provided to Fenland District Council by Cambridgeshire County Council and early contact with the Archaeology Service is recommended to ensure that the scope of the required works is properly defined.
- 6 The information required to satisfy condition 09 shall address the matters raised in the consultation response of the Peterborough City Council Wildlife Officer dated 29 November 2017, a copy of which may be viewed online at www.fenland.gov.uk/planning

6 Authorisation

Authorised by: Nick Harding
Head of Planning

Signature:

A handwritten signature in blue ink, appearing to read 'Nick Harding', with a large, stylized loop at the end.

Date the decision was made: 10 January 2018

Fenland District Council
Development Services
County Road
March
Cambridgeshire
PE15 8NQ

Phone: 01354 654321

E-mail: planning@fenland.gov.uk



PETER HUMPHREY
ASSOCIATES

Conditions Summary Statement – A (18/06/2026)

Application: Variation of condition 14 to enable amendment to approved plans (in respect of soft landscaping) of planning permission F/YR17/0886/F (Erection of a 3-storey 5/6 bed dwelling with attached double garage with gym/annexe over and formation of a new vehicular access) in relation to landscaping at Land North Of Hollingworth House Hockland Road Fronting Cats Lane Tydd St Giles Cambridgeshire.

Approval Ref: F/YR17/0886/F

Introduction:

A landscaping scheme was approved under application F/YR17/0886/F, which has not been adhered to on site, with a number of the trees proposed to be retained having been removed. FDC has advised the applicant to submit a Variation of Condition application with an amended landscaping scheme, with the additional/replacement planting proposed to be reinstated on site.

An earlier version of this application was refused under F/YR22/1005/VOC, based on the number of trees being re-planted being less than the number being removed, and the associated failure to protect biodiversity on site.

Proposed changes:

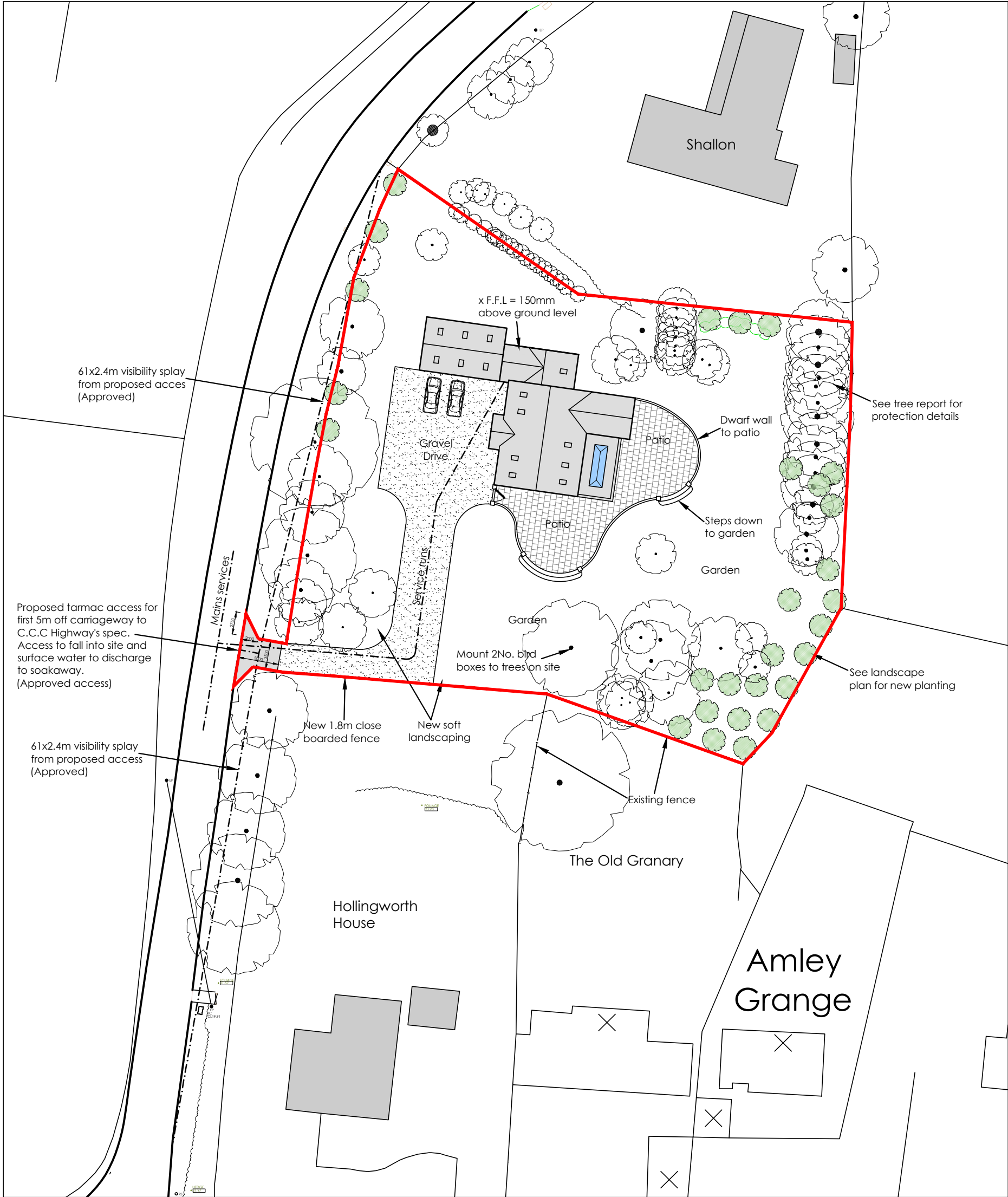
The approved site plan detailed the updated landscaping scheme for the site. 28 trees were removed and now 31 replacement trees (native to the local area) have been proposed and already planted on site, all are native to the Tydd St Giles area and positively contribute towards biodiversity in the local area.

Originally approved document:

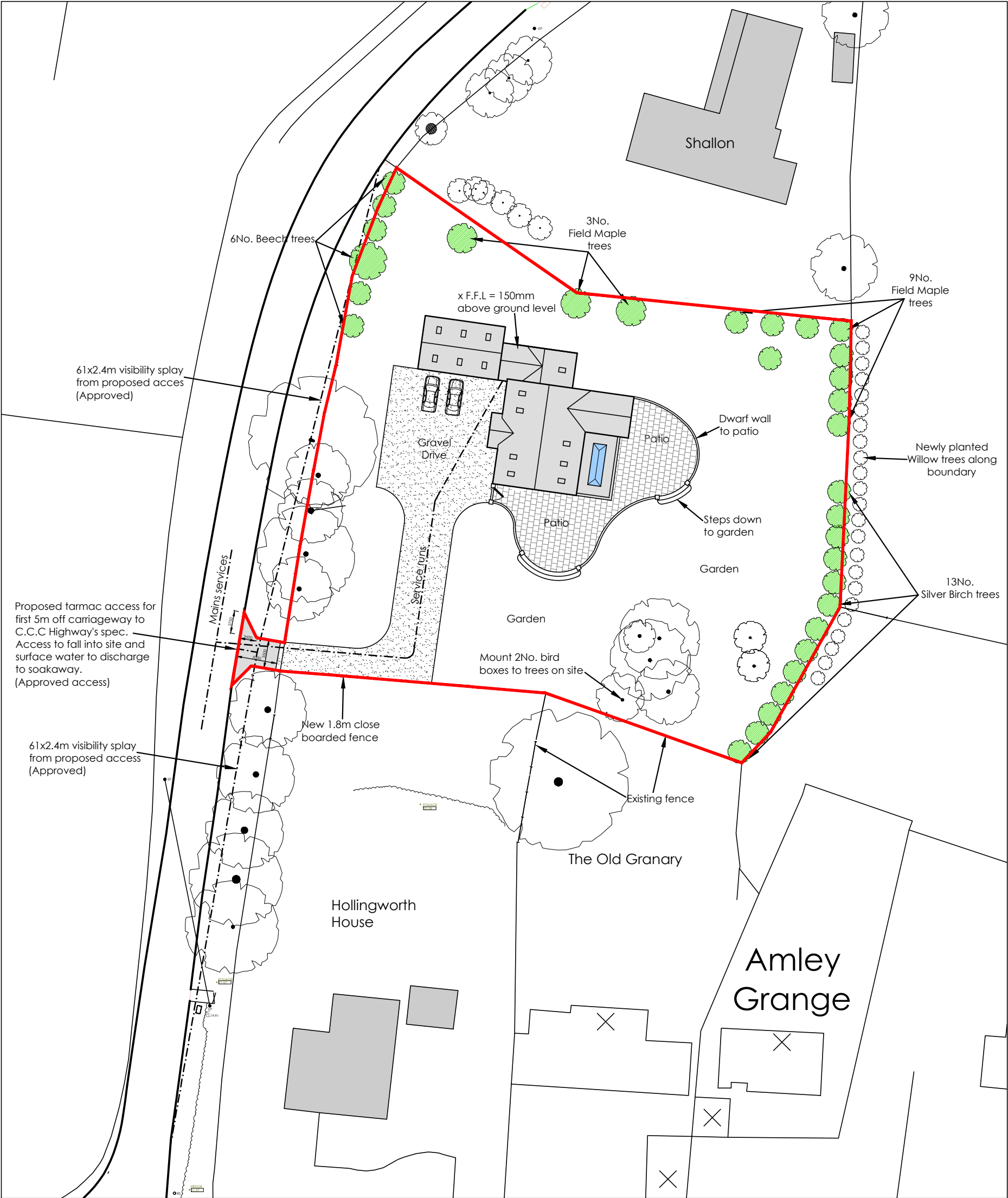
Approved planning drawing 4 (5696/04) - Existing and proposed site plan.

Proposed/revised documents:

Revised planning drawing 4 (5696/04C) – ‘Approved’ site plan and Proposed site plan.



Approved Site Plan (F/YR17/0886/F) 1:500



Proposed Site Plan 1:500

A -
REVISIONS

JOB NO.	PAPER SIZE	DATE
5696/04C	A2	JUNE 2026

Notes:
This drawing is the permission of Peter Humphrey Associates Ltd. and may not be reissued, loaned or copied in whole or part without written consent.

All dimensions shown on the drawing are in millimeters unless stated otherwise. If the drawing is received electronically (PDF) it is the recipient's responsibility to ensure it is printed to the correct paper size. All dimensions to be checked on site prior to commencing work and any discrepancies to be highlighted immediately.

The Construction (Design and Management) Regulations 2015:
Peter Humphrey Associates' form of appointment with the client confirms whether the agent is appointed as 'Designer' or 'Principal Designer' under these regulations. Nevertheless, the design phase has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished project. No extraordinary hazards or risks were identified outside of the routine construction operations that would not already been apparent to a competent contractor.

CLIENT
MR T SMEETH

PROJECT
PROPOSED DWELLING

SITE
LAND NORTH OF HOLLINGWORTH HOUSE
HOCKLAND ROAD, FRONTING CATS LANE
TYDD ST GILES
CAMBS
PE13 5LE

DRAWING
PROPOSED 4

PHA
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